

Certificate number: 1841773S

Water Commitments

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 Litres plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 52 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

all toilets in the development

the cold water tap that supplies each clothes washer in the development

at least one outdoor tap in the development. (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Thermal Performance and Materials commitments

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Simulation Method

Assessor details and thermal loads

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.

Construction

The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.

The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.

Construction

Area - m²

Insulation

floor - concrete slab on ground, waffle pod slab.

100.7

none

floor - above habitable rooms or mezzanine, particle board, frame: light steel frame.

117.3

fibreglass batts or roll

floor - suspended floor above garage, particle board, frame: light steel frame.

24.3

fibreglass batts or roll

garage floor - concrete slab on ground, waffle pod slab.

28.3

none

external wall: cavity brick; frame: no frame.

all external walls

none

external garage wall: brick veneer; frame: light steel frame.

22.1

fibreglass batts or roll

external garage wall: brick veneer; frame: light steel frame.

20.7

none

internal wall: plasterboard; frame: light steel frame.

200.2

fibreglass batts or roll

ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.

208

ceiling: fibreglass batts or roll; roof: foil backed blanket.

Glazing

The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Frames

Maximum area - m2

aluminium

48.6

timber

0

uPVC

0

steel

0

composite

0

Glazing

Maximum area - m2

single

27.8

double

20.8

triple

0

Energy Commitments

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 15 to 20 STCs or better.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3.5 star (average zone)

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3.5 star (average zone)

Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting

The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Other

The applicant must install a fixed outdoor clothes drying line as part of the development.



CHN - CONSTRUCTION DETAILS



CDN 09.000 - Scaffold Details



CDN 18.000 - Concrete Details



CDN 21.000 - Framing Details



CDN 24.000 - Door & Window Details



CDN 27.000 - Steel Details



CDN 30.000 - Brickwork Details



CDN 32.000 - Balcony Details



CDN 33.000 - Plumbing, Fascia & Gutter Details



CDN 35.000 - Hebel Details



CDN 36.000 - External Cladding Details



CDN 48.000 - Internal Fixout Details



CDN 54.000 - Tiling & Wet Area Details

CHN - FACADE DETAILS



FDN 2.15.000 - Elouera Facade Details

2.4	JUN SHADOW DIAGRAM
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
11	SLAB PLAN
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

AREAS	
SITE:	504.90 m²
GROUND FLOOR:	114.58 m²
FIRST FLOOR:	144.99 m²
GARAGE:	31.84 m²
PORCH:	9.57 m²
BALCONY:	6.69 m²
ALFRESCO:	31.77 m²
	m²
TOTAL:	339.44 m²

QUOTE	DATE	QUOTE NUMBER	REV
KITCHEN			-
ZURCORP ELECTRICAL			-
TILES			-
CARPET			-
ZURCORP SECURITY			-
EHI			-
AIR CONDITIONING			-
STAIRS			-
LANDSCAPE			
HYDRAULICS			
ENGINEER			
PEG OUT			

F	18.05.26	HYDRAULIC COORDINATED DRAWINGS	CG
E	29.04.26	EXTERNAL COLOUR DRAWINGS	CG
D	15.04.26	DA LODGEMENT	OL
C	26.03.26	CONTRACT CHANGES DRAWINGS	MTK
B	04.03.26	CONTRACT DRAWINGS	MTK
A	03.02.26	TENDER	SML
REV	DATE	AMENDMENTS	BY

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
Stamford 34
Elouera
R/H Garage

LUXE

Master Issued: 03.02.26

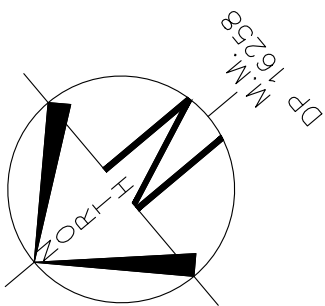
Revision: D

CLIENT:
Mrs LOBO
Mr LOBO
SITE ADDRESS:
Lot 123 No. 23
Raine Road
PADSTOW 2211

DA DRAWINGS

DRAWN: MTK	DATE: 04.03.26	Rev: F
RATIO @ A3: N/A	CHECKED: AL.	
SHEET: 1	JOB No: 29918279	NSW

NORTH



DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

LOT 123

D.P: 16258

L.G.A: CANTERBURY BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
CANTERBURY BANKSTOWN
DCP 2023

SITE AREA 504.90 m²

ROOF AREA 208.05 m²

FLOOR SPACE RATIO

GROUND FLOOR: 104.47 m²

FIRST FLOOR: 125.05 m²

TOTAL LIVING AREA: 229.52 m²

(EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)

FLOOR SPACE RATIO: 45.45 %

MAX. ALLOWABLE BY COUNCIL: 50.0 %

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 269.27 m²

(EXCLUDES HARD SURFACES) 53.33 %

MIN. REQUIRED BY COUNCIL: 45 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 158.87 m²

(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 80 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 9.0 m

(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

SITE COVERAGE

STORMWATER CALCULATION

ROOF FOOTPRINT: 208.80m²

DRIVEWAY/ PAVED AREAS: 47.93m²

TOTAL: 256.73m²

50.84 %

MAX SITE COVERAGE FOR OSD: 75%

BASIX LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 269.27 m²

(EXCLUDES HARD SURFACES) 53.33 %

CLASSIFICATION

WIND	SLAB	CLIMATE
N2	H1	5

REFER TO PAGE 7 FOR
DRIVEWAY PROFILE

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED
WHOLLY WITHIN PROPERTY BOUNDARY
INCLUDING DRAINAGE AND FOOTINGS

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

STORMWATER TO
STREET VIA
RAINWATER TANK

REFER TO HYDRAULIC DETAILS

APPROX. LOCATION
OF SEWER

LOT 122

LOT 138

LOT 137

LOT 124

AREA TO BE KEPT CLEAR
OF SERVICES FOR FUTURE
USE BY OWNER

PROVIDE CONCRETE
LANDING BY CLARENDON

BRICK
RESIDENCE
TILE ROOF
No.21

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

PROVIDE CONCRETE
LANDING BY CLARENDON

LOCATION OF AIR
CONDITIONING UNIT

LOCATION OF 3000L
FUTURE SLIMLINE ABOVE
GROUND RAINWATER TANK
(2700Lx850Wx1560H
SUBJECT TO BASIX &
HYDRAULIC ASSESSMENTS)

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

LOCATION OF
HEAT PUMP

CLAD
RESIDENCE
TILE ROOF
No.25

LOCATION OF METER BOX

PROPOSED DRIVEWAY
BY OWNER AFTER
HANDOVER



SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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PREFERENCE TO SCALING.

PRODUCT:
Stamford 34
Elouera
R/H Garage
LUXE

CLIENT:
Mrs LOBO
Mr LOBO
SITE ADDRESS:
Lot 123 No. 23
Raine Road
PADSTOW 2211

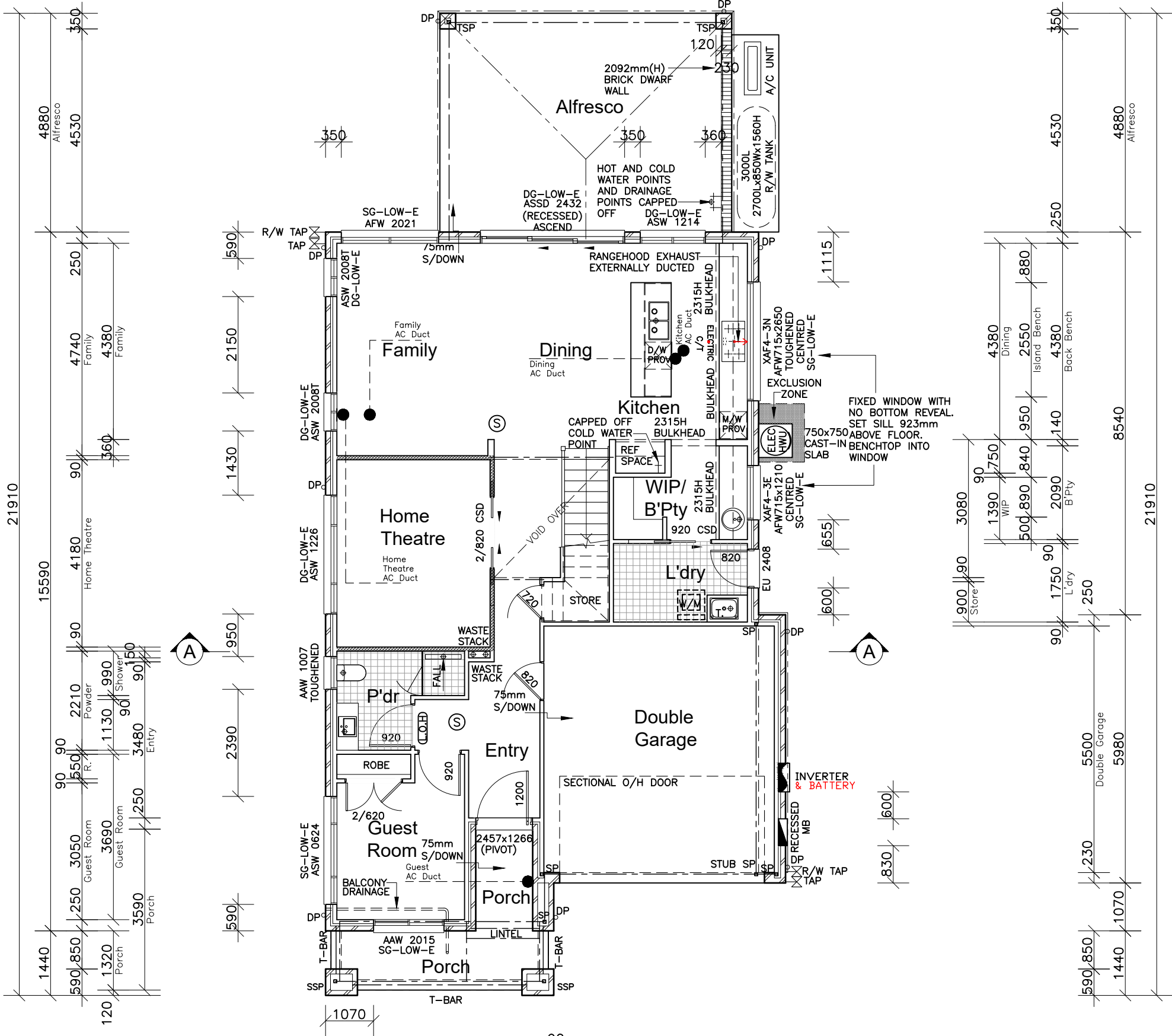
DA DRAWINGS

DRAWN: SML	DATE: 04.03.26	Rev: F
RATIO @ A3: 1:200	CHECKED: SML	
SHEET: 2	JOB No: 29918279	NSW

---	STRUCTURAL BEAM
SP ■	STEEL POST
TSP ■	TELESCOPIC STEEL POST
(S)	SMOKE ALARM
(E)	EXHAUST FAN
DP ○	DOWN PIPE
TAP ⊗	GARDEN TAP
(L.O.B)	LIFT OFF HINGES
(M.U.A)	MAKE-UP AIR VENT
(C.E.J)	CEILING EXPANSION JOINT
(E)→	EXHAUST FAN WITH RUN-ON TIMER
FWG ✕	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
—#—	LINEAR FLOOR WASTE

● AIR CONDITIONING DUCT

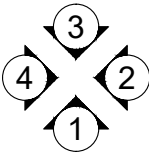
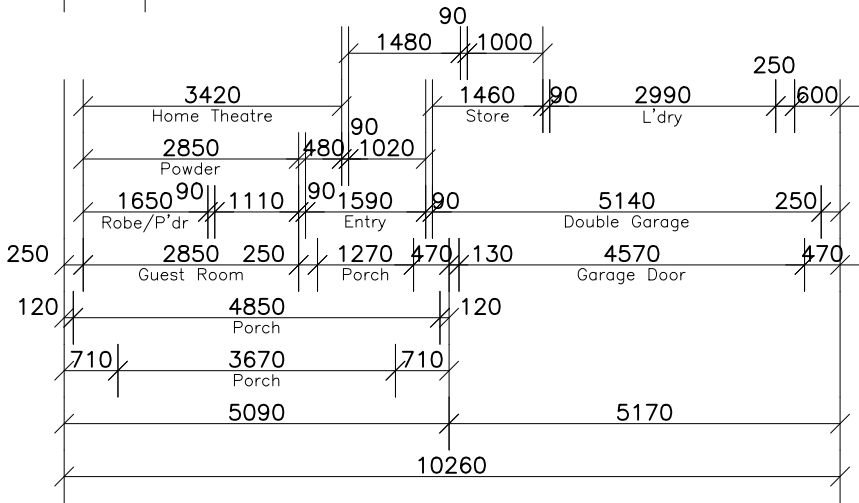
- NOTES
- SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
 - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
 - INTERNAL DOORS – LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)



PROVIDE R2.0 ACOUSTIC INSULATION WALL BATTS TO INTERNAL WALLS OF HOME THEATRE (ONLY)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

SOLAR INCLUSION
* 5.8 KW SMART SOLAR SYSTEM
* INVERTER
* BATTERY



EPOXY FLOOR
REFER TO SCHEDULE FOR GARAGE FLOOR FINISH

GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
Stamford 34
Elouera
R/H Garage

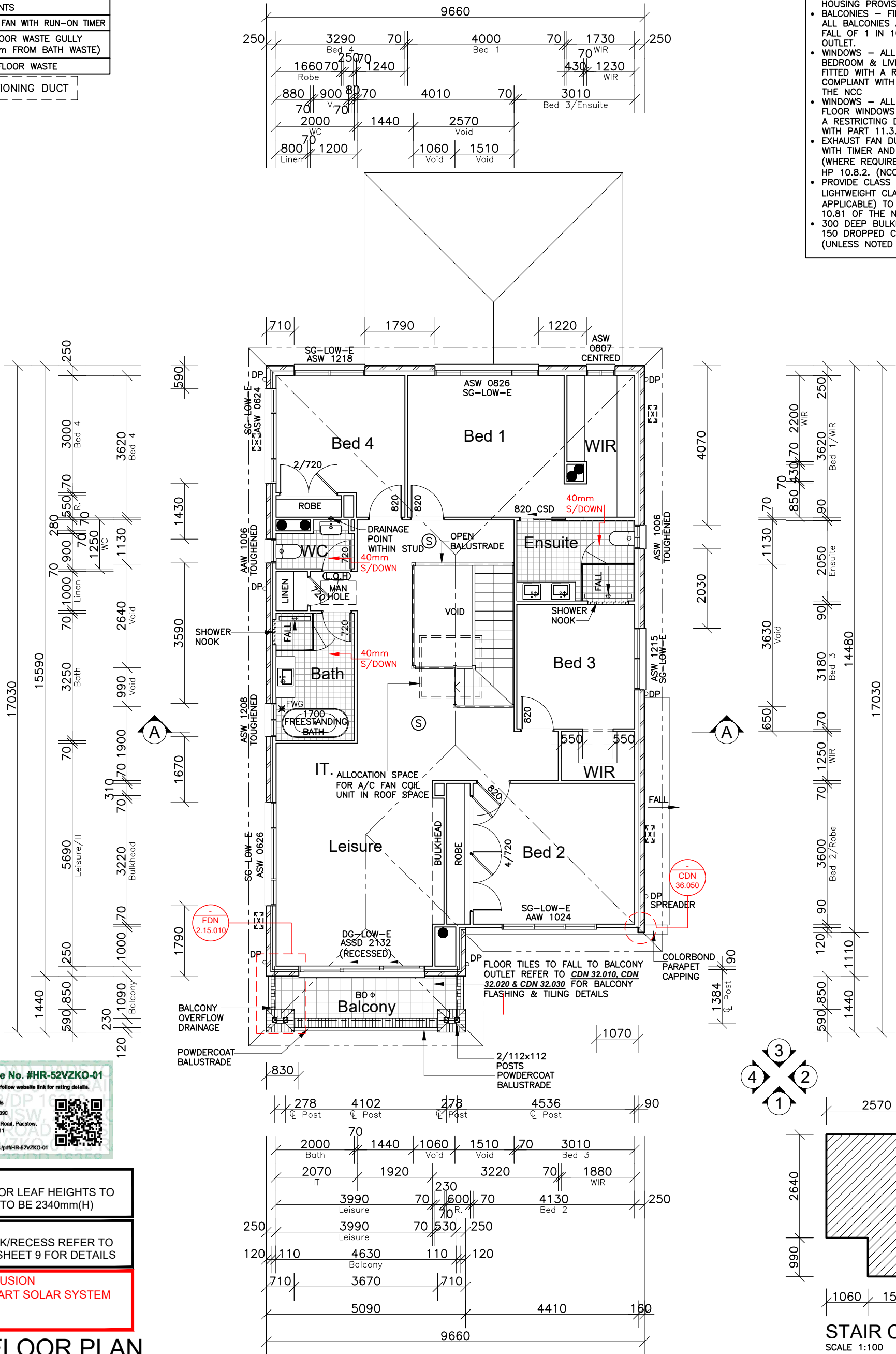
LUXE

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Mrs LOBO
Mr LOBO
SITE ADDRESS:
Lot 123 No. 23
Raine Road
PADSTOW 2211

DA DRAWINGS			
DRAWN: MTK	DATE: 04.03.26	Rev:	F
RATIO @ A3: 1:100	CHECKED: AL.		
SHEET: 3	JOB No: 29918279	NSW	

	SMOKE ALARM
	EXHAUST FAN
DP ◯	DOWN PIPE LOCATION
TAP 	TELESCOPIC STEEL POST
	LIFT OFF HINGES
	MAKE-UP AIR VENT
	EAVE VENTS
 →	EXHAUST FAN WITH RUN-ON TIMER
FWG 	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
	LINEAR FLOOR WASTE
 AIR CONDITIONING DUCT	

NOTES		
- WET AREAS – ALL WET AREAS TO FIRST FLOOR TO HAVE RECESSED JOISTS. - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022) - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET. - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022) - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)		



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Elouera
R/H Garage

LUXE

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DA DRAWINGS		
DRAWN: MTK	DATE: 04.03.26	Rev: F
RATIO @ A3: 1:100	CHECKED: AL.	
SHEET: 4	JOB No: 29918279	NSW

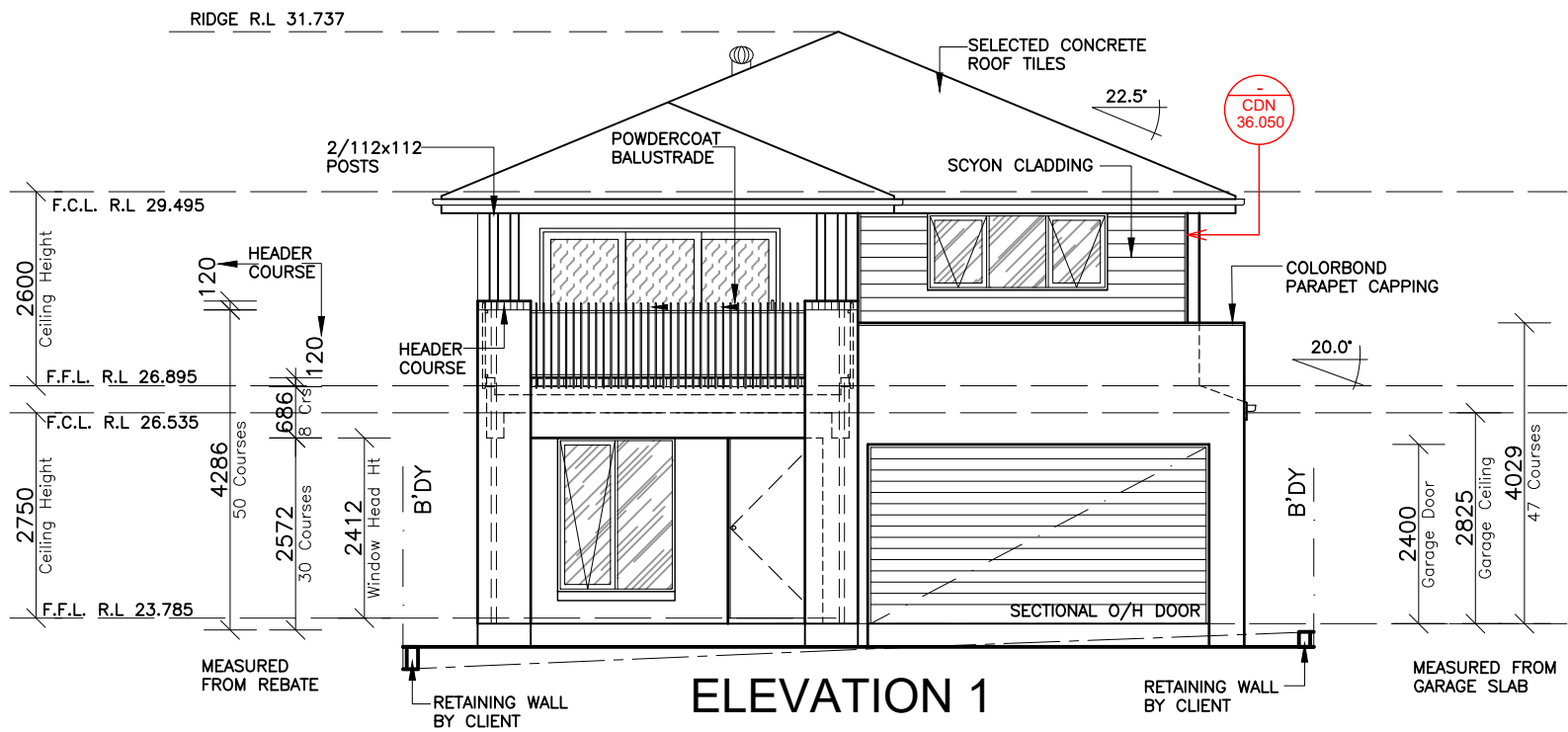
SOLAR INCLUSION
* 5.8 KW SMART SOLAR SYSTEM
* INVERTER
* BATTERY

NOTE:
FOR ROOF PITCHES 20° OR LOWER -
ROOF TILE SELECTION WILL BE
IMPACTED.

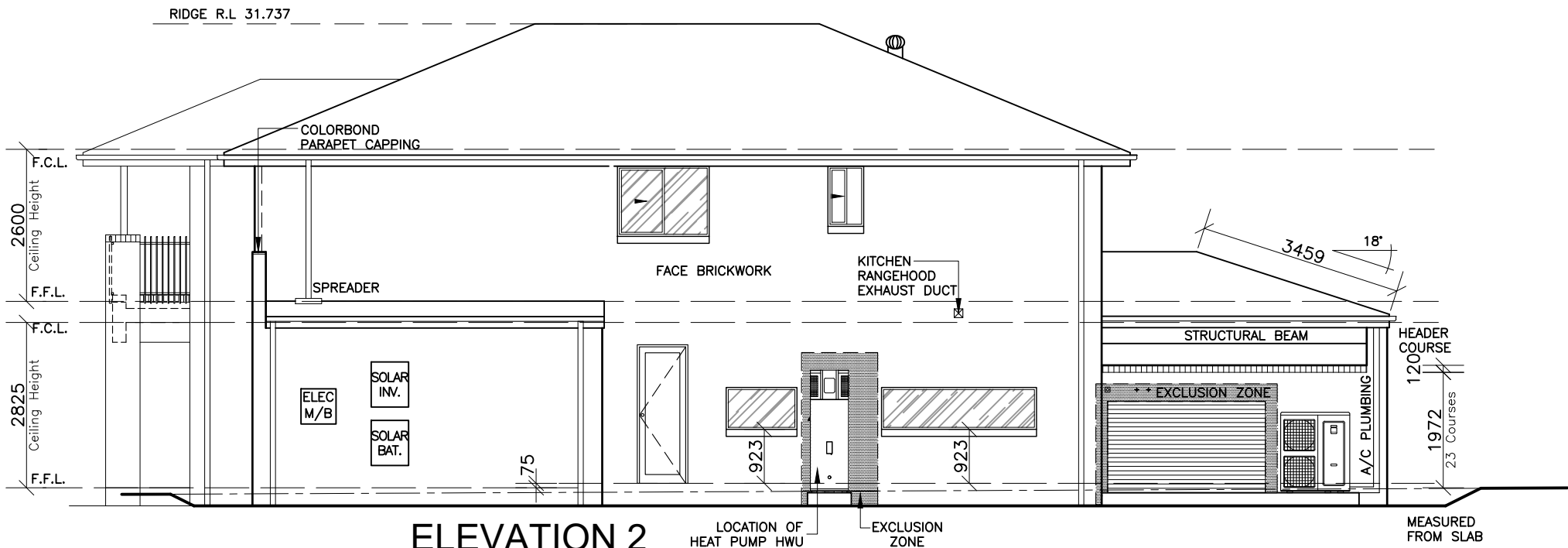
DENOTES WINDOWS WITH
SINGLE GLAZED LOW 'E'
GLAZING

DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
LOW 'E' GLAZING

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 1
-NORTH WEST-



ELEVATION 2
-SOUTH WEST-



CLIENT'S SIGNATURE: _____ DATE: _____

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Elouera
R/H Garage

LUXE

CLIENT:
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Mr LOBO
SITE ADDRESS:
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PADSTOW 2211

DA DRAWINGS

DRAWN: MTK	DATE: 04.03.26	Rev: F
RATIO @ A3: 1:100	CHECKED: AL.	
SHEET: 5	JOB No: 29918279	NSW

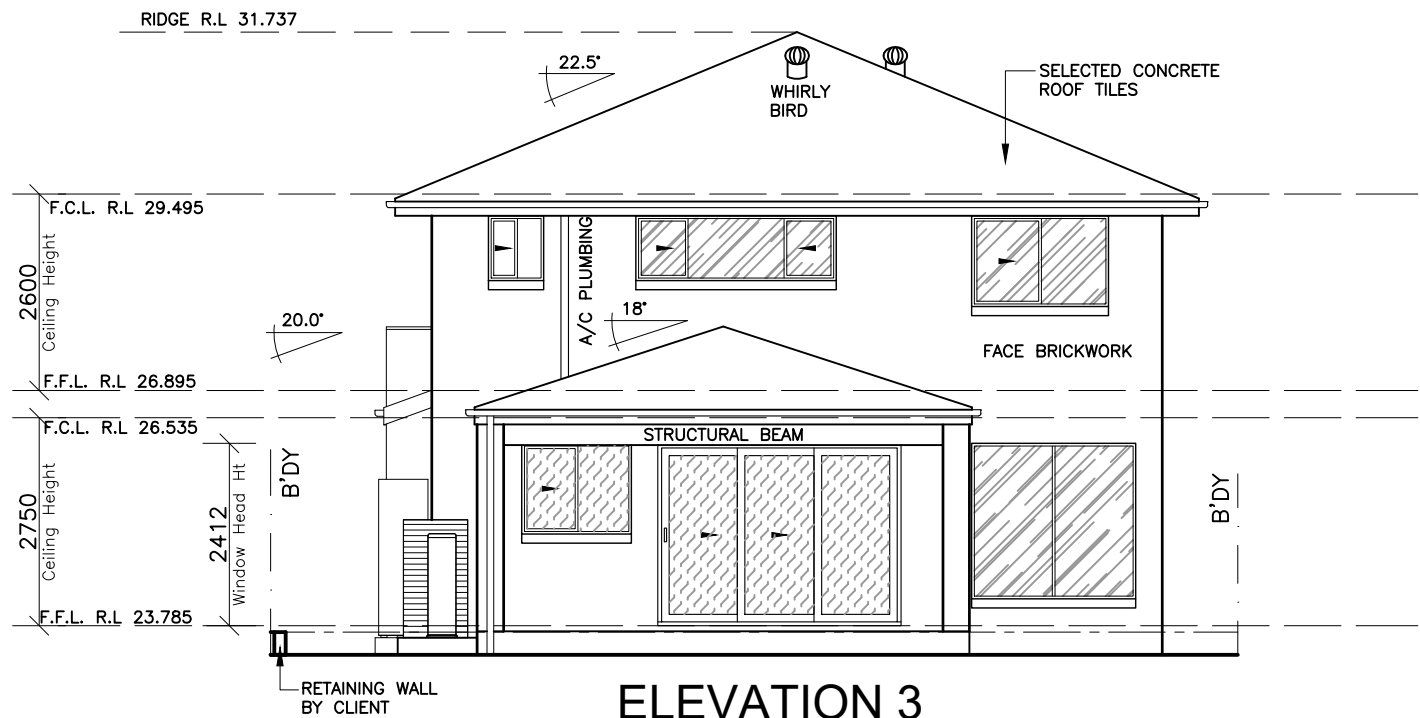
SOLAR INCLUSION
* 5.8 KW SMART SOLAR SYSTEM
* INVERTER
* BATTERY

NOTE:
FOR ROOF PITCHES 20° OR LOWER -
ROOF TILE SELECTION WILL BE
IMPACTED.

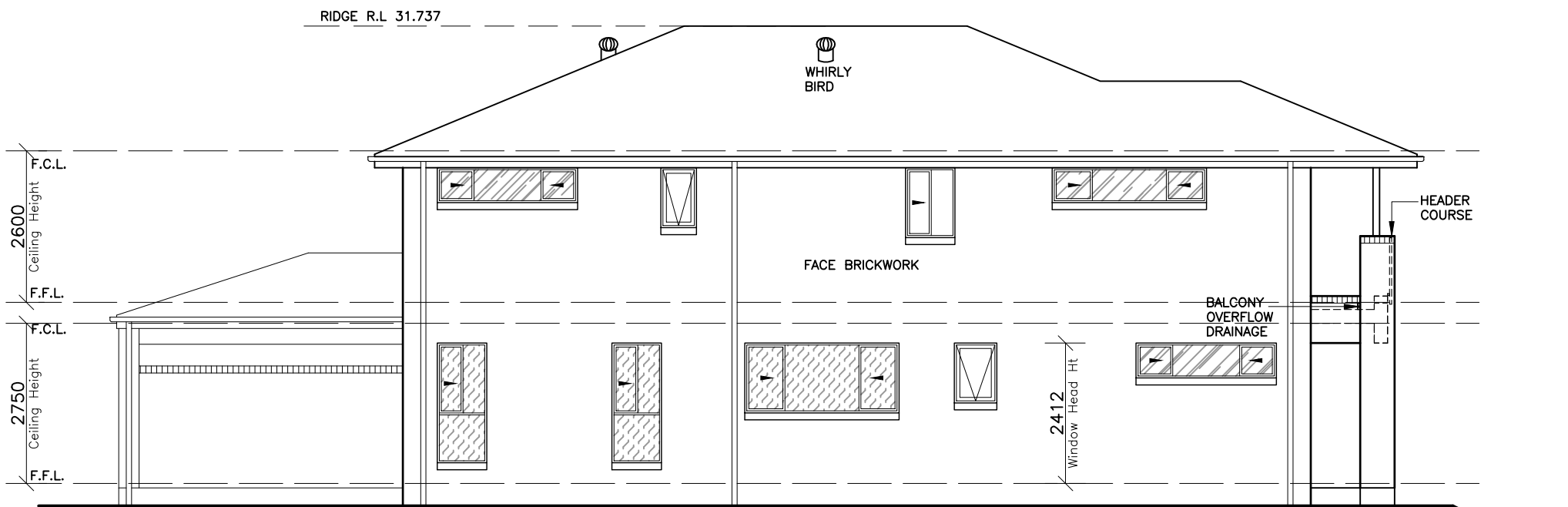
DENOTES WINDOWS WITH
SINGLE GLAZED LOW 'E'
GLAZING

DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
LOW 'E' GLAZING

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 3
-SOUTH EAST-



ELEVATION 4
-NORTH EAST-



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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Elouera
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DA DRAWINGS

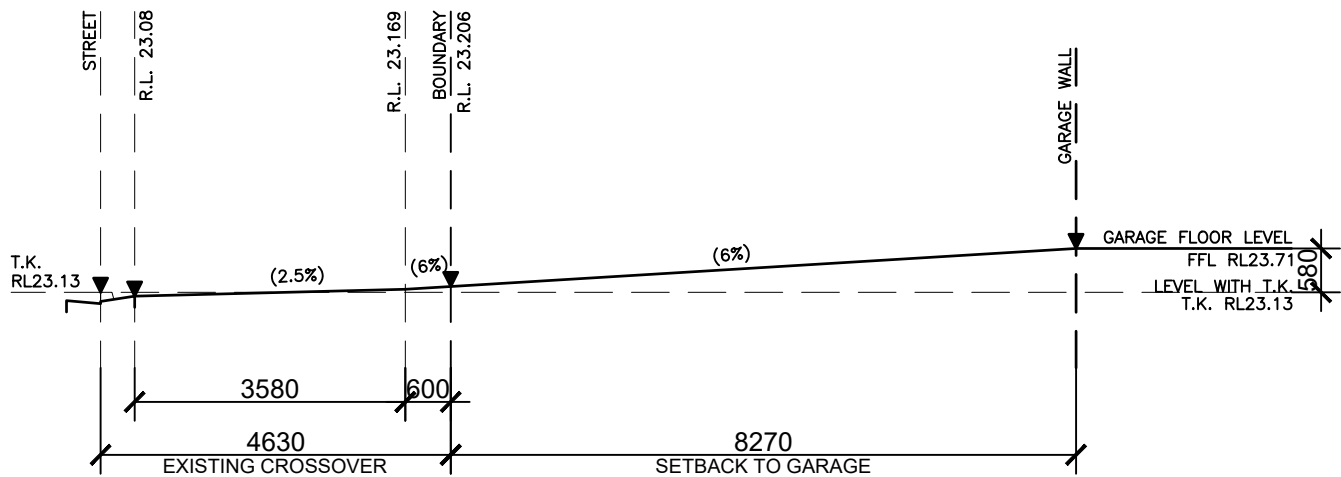
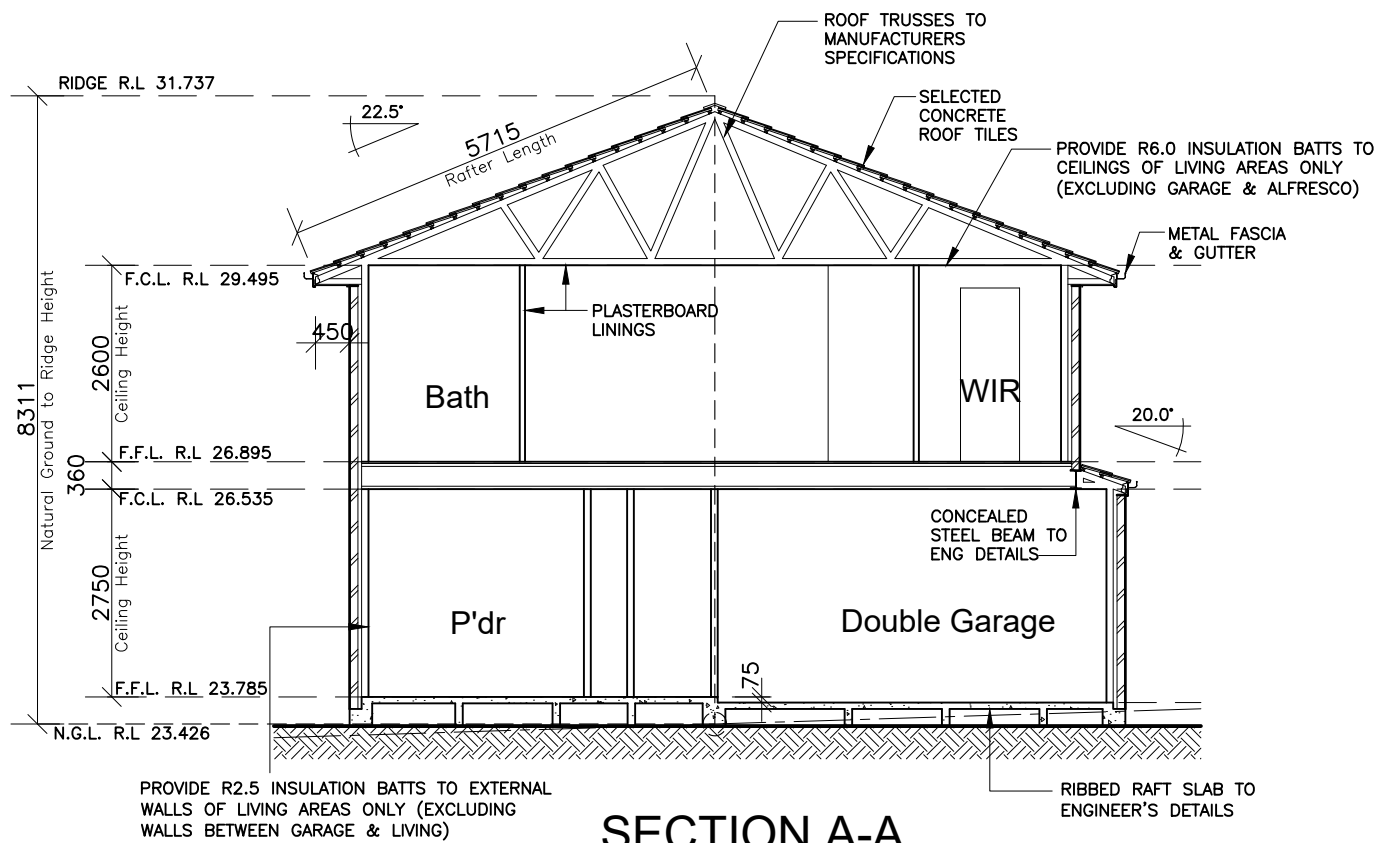
DRAWN: MTK	DATE: 04.03.26	Rev: F
RATIO @ A3: 1:100	CHECKED: AL.	
SHEET: 6	JOB No: 29918279	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)

NOTE:
PROVIDE CLASS 4 WALL WRAP TO
LIGHTWEIGHT CLADDING

**PROVIDE R4.0 INSULATION BATTS TO
CEILING JOISTS BETWEEN GROUND
& FIRST FLOOR**

**PROVIDE R4.0 INSULATION BATTS TO
CEILING JOISTS BETWEEN PORCH &
FIRST FLOOR
(R3.5 INSULATION INSTALLED AS
PART OF CONSTRUCTION METHOD)**



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 34
Elouera
R/H Garage

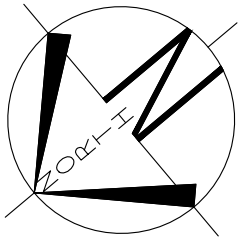
LUXE

CLIENT:
Mrs LOBO
Mr LOBO

SITE ADDRESS:
Lot 123 No. 23
Raine Road
PADSTOW 2211

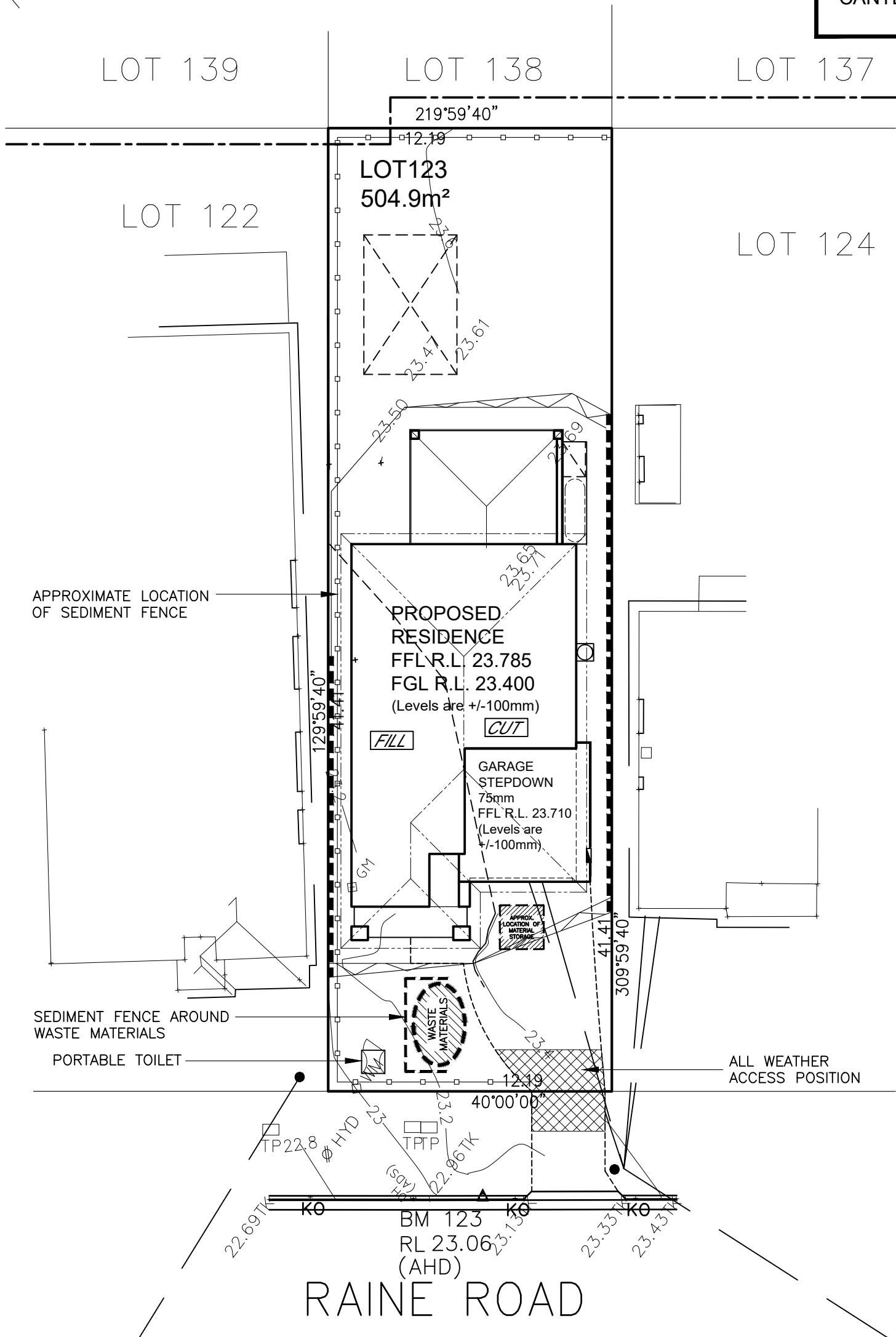
DA DRAWINGS			
DRAWN: MTK	DATE: 04.03.26	Rev: F	
RATIO @ A3: 1:100	CHECKED: AL.		
SHEET: 7	JOB No: 29918279	NSW	

NORTH



LOT 123
D.P: 16258
L.G.A: CANTERBURY BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
CANTERBURY BANKSTOWN
DCP 2023



CONSTRUCTION MANAGEMENT PLAN

EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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Elouera
R/H Garage

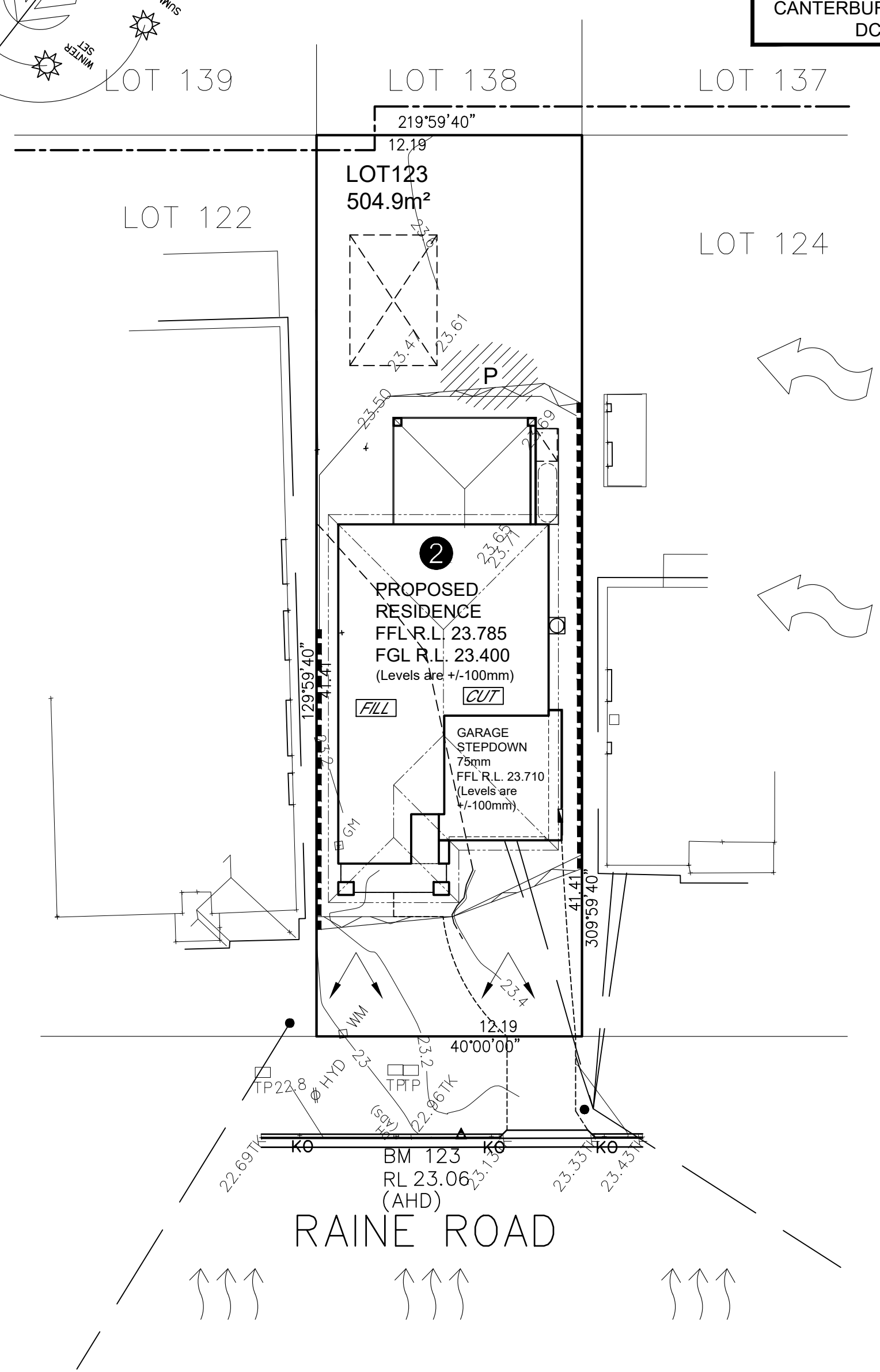
LUXE

CLIENT:
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Mr LOBO
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Raine Road
PADSTOW 2211

DA DRAWINGS

DRAWN: MTK	DATE: 04.03.26	Rev: F
RATIO @ A3: 1:200	CHECKED: AL.	
SHEET: 2.1	JOB No: 29918279	NSW

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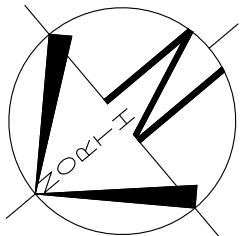


SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: Stamford 34 Elouera R/H Garage LUXE	CUSTOMER: Mrs LOBO Mr LOBO SITE ADDRESS: Lot 123 No. 23 Raine Road PADSTOW 2211	DA DRAWINGS <table><tr><td>DRAWN: MTK</td><td>DATE: 04.03.26</td><td>Rev: F</td></tr><tr><td>RATIO @ A3: 1:200</td><td>CHECKED: AL.</td><td></td></tr><tr><td>SHEET: 2.2</td><td>JOB No: 29918279</td><td>NSW</td></tr></table>	DRAWN: MTK	DATE: 04.03.26	Rev: F	RATIO @ A3: 1:200	CHECKED: AL.		SHEET: 2.2	JOB No: 29918279	NSW
DRAWN: MTK	DATE: 04.03.26	Rev: F												
RATIO @ A3: 1:200	CHECKED: AL.													
SHEET: 2.2	JOB No: 29918279	NSW												

NORTH



LOT 123
D.P: 16258
L.G.A: CANTERBURY BANKSTOWN

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DCP 2023

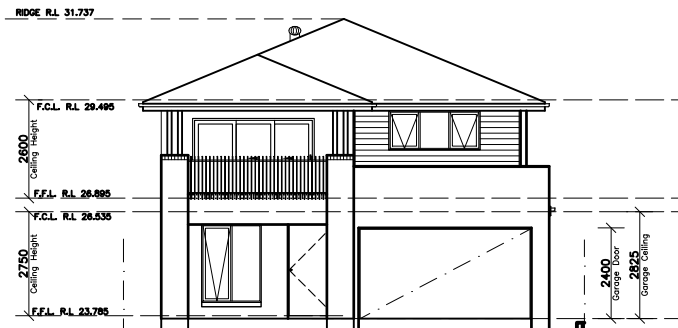
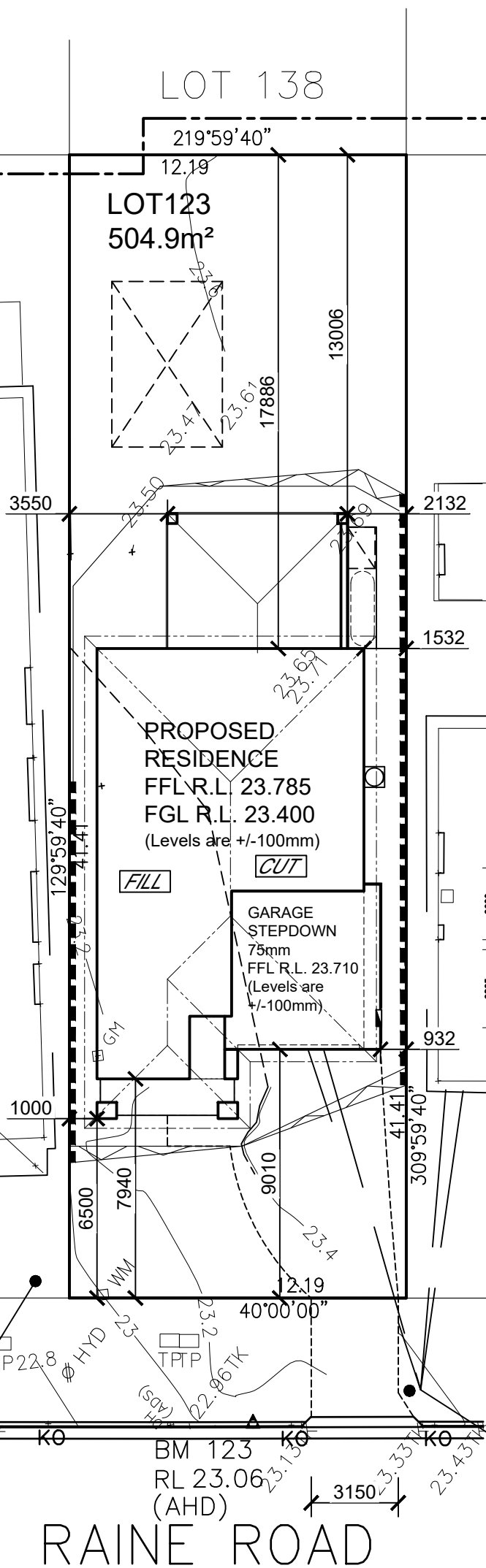
LOT 139

LOT 138

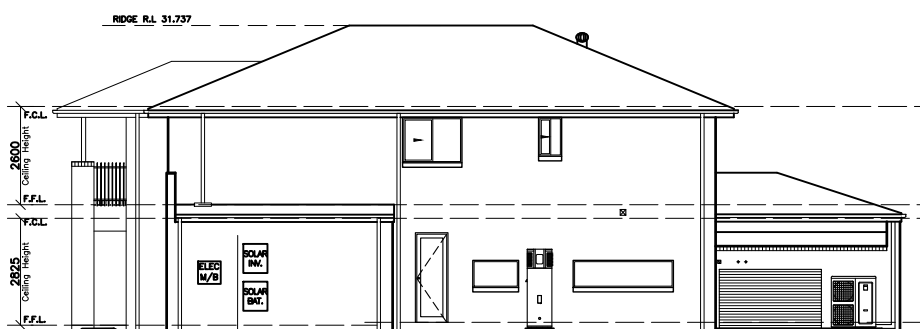
LOT 137

LOT 122

LOT 124



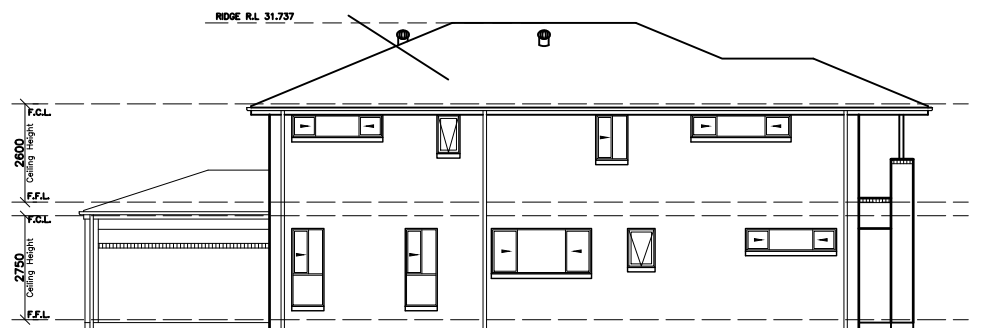
ELEVATION 1
-NORTH WEST-



ELEVATION 2
-SOUTH WEST-



ELEVATION 3
-SOUTH EAST-



ELEVATION 4
-NORTH EAST-

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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Elouera
R/H Garage

LUXE

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SHEET: 2.3	JOB No: 29918279	NSW

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DCP 2023

TN

LOT 139

~~LOT~~ 138

LOT 137

LOT 122

LOT123
504.9m²

LOT 124

—Shadow outline for JUN21-3.00pm

—Shadow outline for JUN21-12.00pm

-Shadow outline for JUN21-9.00am

RAINE ROAD

SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____

DATE: _____

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DRAWN: MTK	DATE: 04.03.26
RATIO @ A3: 1:200	CHECKED: AL.
SHEET: 2.4	JOB No: 2991

Rev:	F
	NSW